ENERGY EFFICIENCY REQUIREMENTS - ZONE 7A
PRESCRIPTIVE METHOD USED - SEE DETAILS SHEET A-6

DAYNEL HOMES

B.M.W
DESIGN AND DRAFTING LTD.
780-952-0955
RESIDENTIAL DESIGNING
#21-25112 TWP RD 542A
STURGEON COUNTY, AB

COLORS SHOWN ARE FOR GRAPHICAL PURPOSE ONLY
OWNER TO SELECT AS PER ARCH GUIDELINES

REVISIONS
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PROJECT ADDRESS
-16 LACHANCE DRIVE
ST. ALBERT, AB

PRINT DATE
-JULY 6,2019

JULY 2019	
JOB NUMBER=	2018-61
LOT=	132
BLOCK=	10
PLAN=	142 4849
SUBDIVISION=	LACOMBE PARK

FLOOR AREAS	(SQ.FT.)
BASEMENT FLOOR	1880
MAIN FLOOR	1900
SECOND FLOOR	N/A
TOTAL	1900

EXTERIOR ELEVATION NOTES

BUILDERS SPECIFICATION MAY GOVERN OVER THESE NOTES

EXTERIOR WALL FINISH
- -SIDING / STUCCO C/W REQ'D TRIMS AND FLASHINGS
- -STONE VENEER AS SHOWN C/W TOP LEDGE

ROOFING FINISH
- -ASPHALT SHINGLES

FASCIA & SOFFITS
- -PREFINISHED PERFORATED SOFFIT
- -PREFINISHED METAL FASCIA ON 2x10 FRAMING

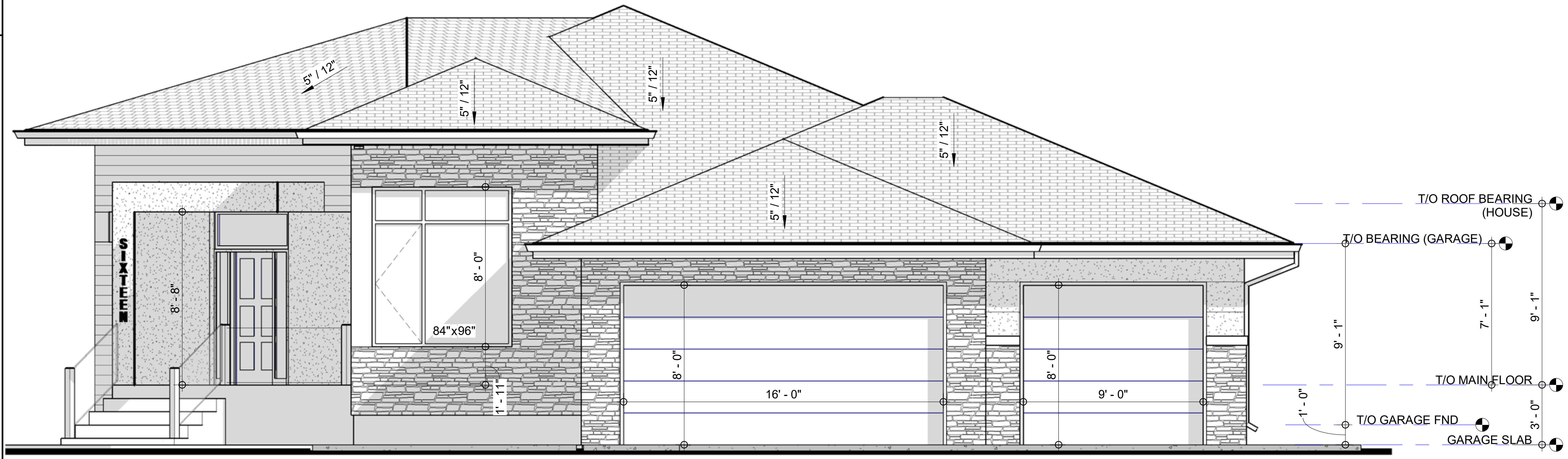
EAVESTROUGH
- -PREFINISHED METAL EAVESTROUGH AND DOWNSPOUTS WITH EXTENTIONS, C/W ALL MOUNTING HARDWARE.

WINDOWS
- -PVC WINDOW UNITS C/W REQ'D GRILLES AS SHOWN (REFER TO WINDOW SHOP DRAWINGS FOR EXACT TYPE, SIZE AND STYLE OF WINDOW. BUILDER/OWNER TO VERIFY DIRECTION OF ALL OPENERS.

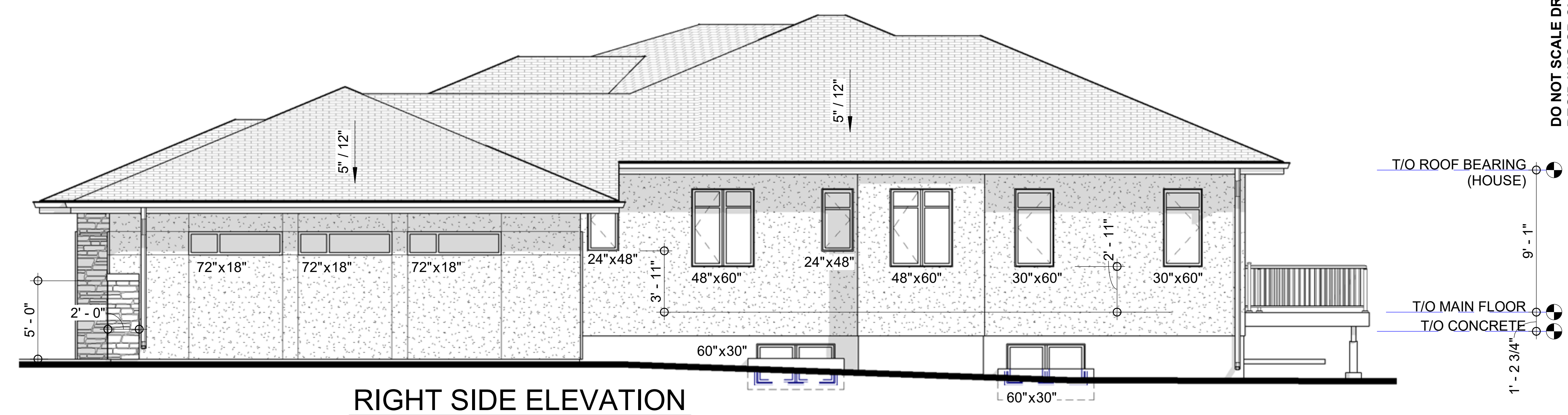
PARGING
- -CEMENT PARGING ON FOUNDATION WALL, MAX. 2'-0" HIGH

REAR DECK
- -DECKING ON PRESSURE TREATED STRUCTURE
- -ALUMINUM RAILING SYSTEM AS INDICATED (RAILING TO MEET OR EXCEED REQUIREMENTS OF ABC)

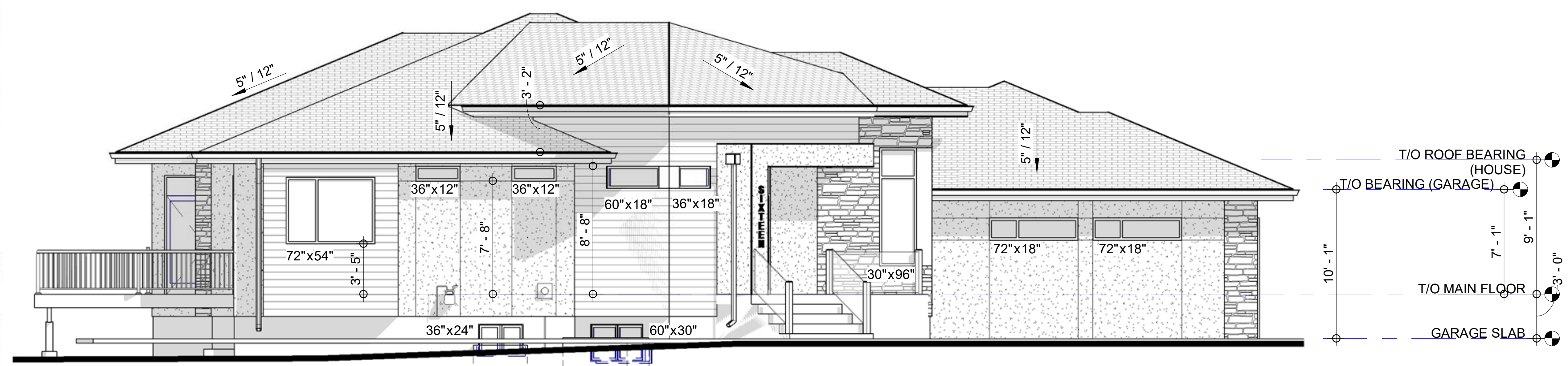
FRONT DECK
- -CAST IN PLACE CONCRETE
- -ALUMINUM RAILING SYSTEM AS INDICATED (RAILING TO MEET OR EXCEED REQUIREMENTS OF ABC)



FRONT ELEVATION
3/16" = 1'-0"



RIGHT SIDE ELEVATION
1/8" = 1'-0"



LEFT SIDE ELEVATION
1/8" = 1'-0"

FRONT ENTRY "HEAD ON" ELEVATION
1/8" = 1'-0"

BACK ELEVATION
1/8" = 1'-0"

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Project No:	2018-61
Date:	JULY 2019
Scale	As indicated
Drawn by:	BMW
Builder File:	

Legal Description:
Lot: 132
Block 10
Plan: 142 4849
Subdivision: LACOMBE PARK

Address:

WORKING DRAWINGS ARE A GRAPHIC REPRESENTATION ONLY. ACTUAL PRODUCTS AND MATERIALS USED MAY VARY FROM DEPICTED ON DRAWINGS.

SALES CONTRACT AND SPECIFICATIONS MUST TAKE PRECEDENCE OVER THESE DRAWINGS.

Drawing Title: EXTERIOR ELEVATIONS

Builder: DAYNEL HOMES

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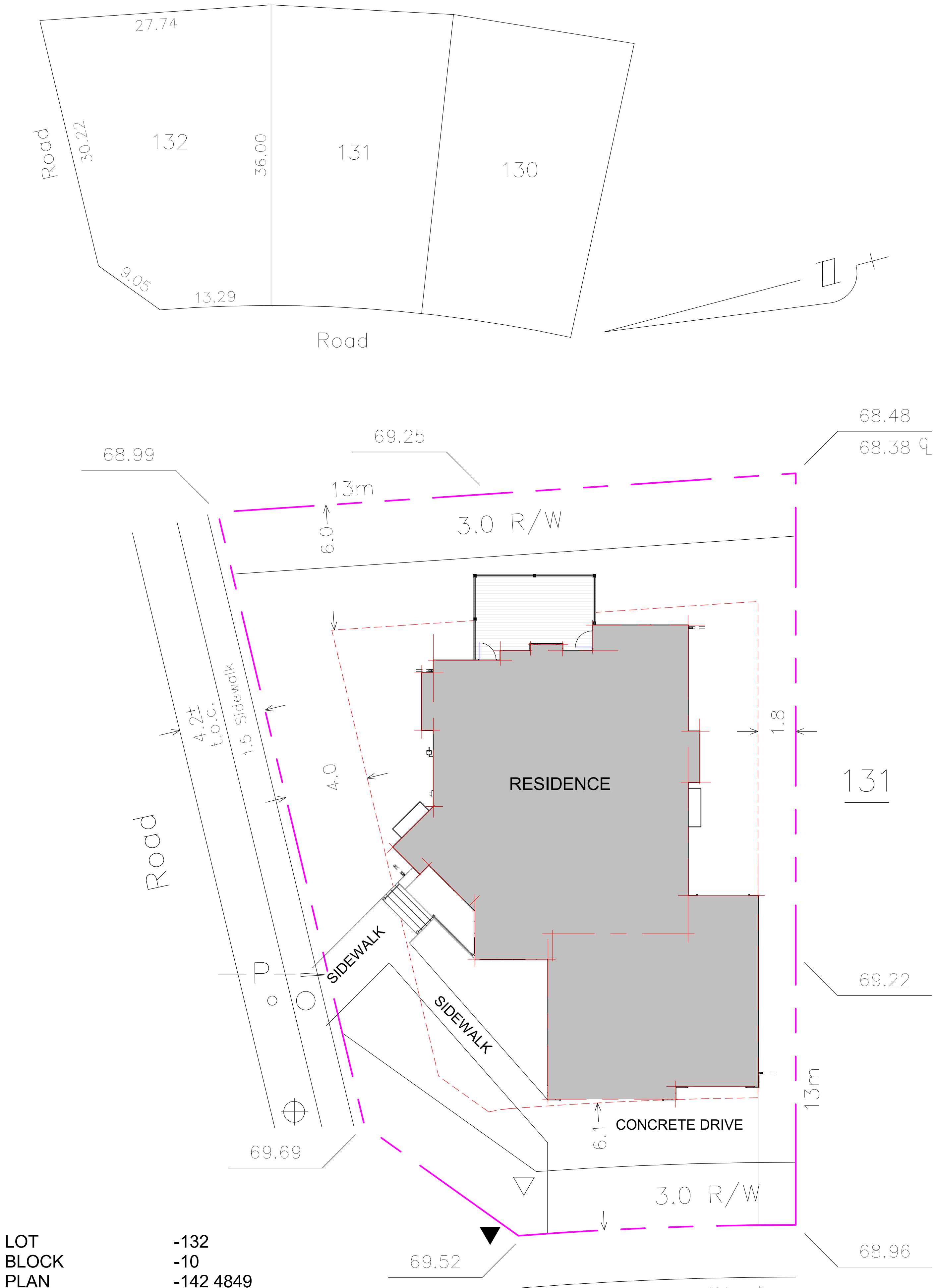
Design & Drafting Ltd.
#21-25112 TWP RD 542A
STURGEON COUNTY, AB
T8T 0B2

A-1



LOT -132
BLOCK -10
PLAN -142 4849
SUB-DIVISION -LACOMBE PARK
ST. ALBERT, ALBERTA

THIS IS A PROPOSED LAYOUT ONLY. SURVEYOR SHALL LOCATE STRUCTURE ON BUILDING POCKETS TO APPROPRIATE SETBACKS AND GRADES AND VERIFY WITH OWNER.

SITE PLAN
1" = 20'-0"

SITE AREA	-820.5 SQ.M.
BUILDING AREA (INCLUDES COVERED DECKS, DECKS OVER 1M IN HEIGHT AND ACCESSORY BUILDINGS)	-265 SQ.M.
SITE COVERAGE	32%

BASEMENT CONSTRUCTION NOTES

BUILDERS SPECIFICATION MAY GOVERN OVER THESE NOTES

COLUMN FOOTINGS
-STEEL TELEPOST ON 42" SQ.x10" THK. REINFORCED AS PER CONTRACTOR OR ENGINEER SPECIFICATIONS (TELEPOST AND CONCRETE PAD SIZES TO BE VERIFIED ONCE BEAM LOADS ARE KNOWN)

-PROVIDE CONTINUOUS FILTER FABRIC SOCK AROUND 4" WEEPING TILE TO BE INSTALLED AROUND ENTIRE PERIMETER OF STRIP FOOTING WITH MIN. 12" GRAVEL COVER AND TIED TO DRAINAGE SYSTEM ACCORDING TO LOCAL BYLAWS (TYP.)

-PROVIDE GALVANIZED WINDOW WELLS TO SUIT GRADE. FILL WELLS WITH FILTER FABIC UNDER 6" OF GRAVEL. PROVIDE PVC PIPE CONNECTION TO WEEPING TILE. MODIFY MAIN FLOOR ELEVATION AS REQ'D. VERIFY CONDITION ON SITE.

-PROVIDE JOIST BLOCKING AS PER JOIST MANUF. (TYP.)

-VERIFY BEAM AND JOIST SIZES WITH MANUF. (TYP.)

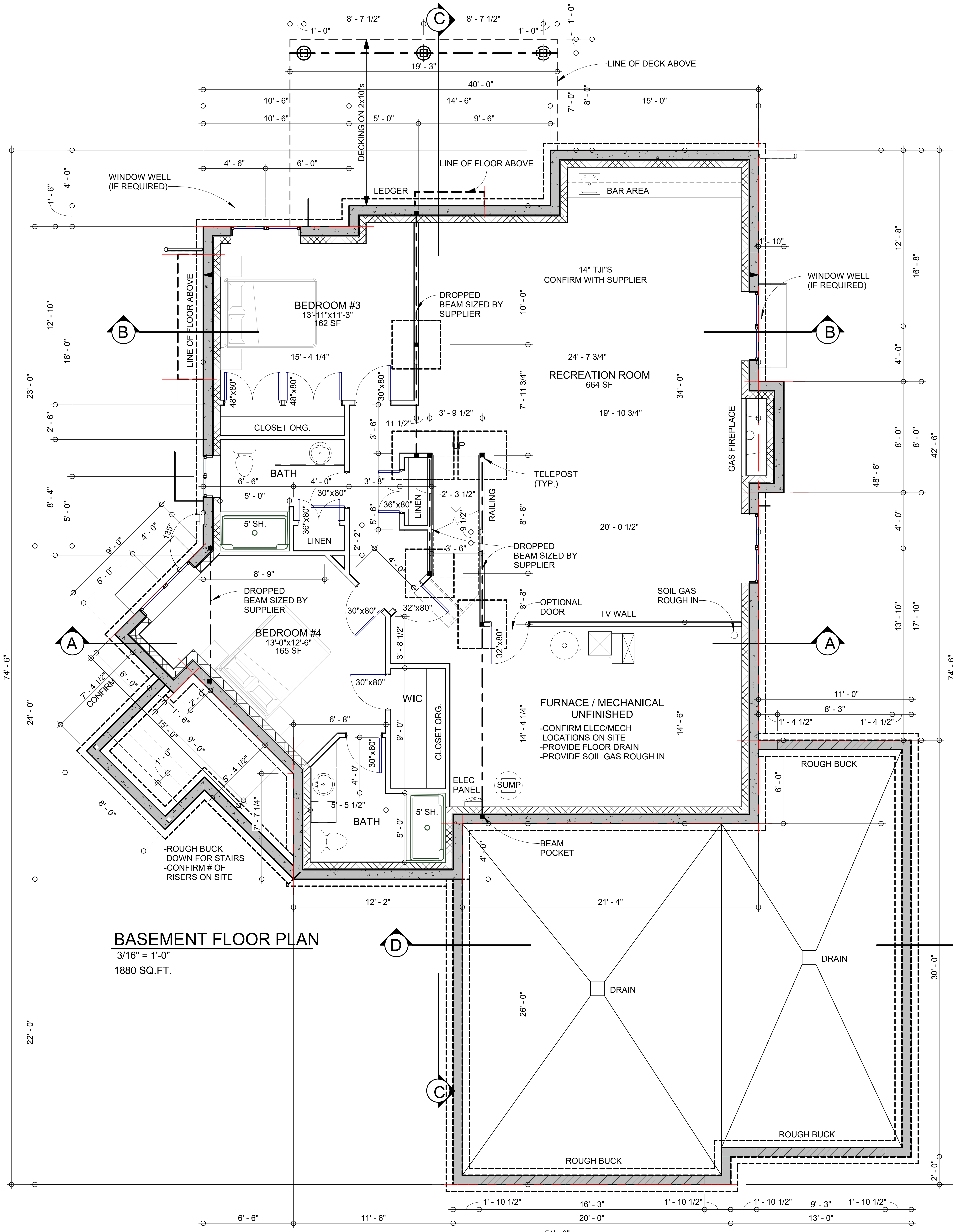
-PROVIDE DECK NAILER AS PER ELEVATIONS

-PROVIDE BEAM POCKETS AS NEEDED FOR BEAM LAYOUT. VERIFY LOCATION AND SIZES WITH JOIST LAYOUT DRAWINGS.

-JOIST AND BEAM LAYOUT TO BE CONFIRMED BY SUPPLIER OF JOISTS AND BEAMS.

-INSULATE, SEAL AND PROVIDE PREFINISHED METAL SOFFIT TO ALL CANTILEVERS

-SUMP PIT, FURNACE, HOT WATER TANK, ELECTRICAL PANEL LOCATIONS TO BE CONFIRMED ON SITE



BASEMENT FLOOR PLAN
3/16" = 1'-0"
1880 SQ.FT.

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Drawing Title: BASEMENT FLOOR PLAN

Builder: DAYNEL HOMES

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#21-25112 TWP RD 542A
STURGEON COUNTY, AB
T8T 0B2

A-2

CONSTRUCTION ASSEMBLIES

-BUILDERS SPECIFICATION MAY GOVERN OVER THESE NOTES

WALL TYPES

FW1

HOUSE FOUNDATION WALL CONSTRUCTION (FW1)
-DAMPPROOFING ON 8" CONC. FDN WALL ON STRIP FOOTING (REINFORCED AS PER CONTRACTOR OR ENGINEER SPECIFICATIONS, FOOTING REQUIREMENTS TO BE VERIFIED BY SOILS REPORT)
-1" AIR SPACE
-2x6 WOOD STUDS @ 16" O.C.
-R-20 BATT INSULATION
-6 MIL POLY VAPOUR BARRIER
-1/2" G.W.B.

GARAGE FOUNDATION WALL CONSTRUCTION
-8" CONC. FDN WALL (5'-0" HIGH) ON STRIP FOOTING (REINFORCED AS PER CONTRACTOR OR ENGINEER SPECIFICATIONS, FOOTING REQUIREMENTS TO BE VERIFIED BY SOILS REPORT)

EW1

EXTERIOR WALL CONSTRUCTION (EW1) SIDING
-EXTERIOR WALL FINISH AS SPEC'D
-AIR/MOISTURE BARRIER
-3/8" EXTERIOR SHEATHING (WITH REQUIRED FLAME SPREAD RATING WHERE APPLICABLE)
-2x6 WOOD STUDS @ 16" O.C.
-R-22 BATT INSULATION
-6 MIL POLY VAPOUR BARRIER
-1/2" G.W.B.

EW2

EXTERIOR WALL CONSTRUCTION (EW2) STUCCO
-EXTERIOR WALL FINISH AS SPEC'D
-AIR/MOISTURE BARRIER
-3/8" EXTERIOR SHEATHING (WITH REQUIRED FLAME SPREAD RATING WHERE APPLICABLE)
-2x6 WOOD STUDS @ 16" O.C.
-R-20 BATT INSULATION
-6 MIL POLY VAPOUR BARRIER
-1/2" G.W.B.

EW3

GARAGE/HOUSE WALL CONSTRUCTION (EW3)
-1/2" G.W.B. (GARAGE SIDE)
-3/8" EXTERIOR SHEATHING
-2x6 WOOD STUDS @ 16" O.C.
-R-22 BATT INSULATION
-6 MIL POLY VAPOUR BARRIER
-1/2" G.W.B.

2x4 INTERIOR WALL CONSTRUCTION
-1/2" G.W.B.
-2x4 WOOD STUDS @ 16" O.C.
-INSULATE AS INSTRUCTED BY OWNER
-1/2" G.W.B.

2x6 INTERIOR WALL CONSTRUCTION
-1/2" G.W.B.
-2x6 WOOD STUDS @ 16" O.C.
-INSULATE AS INSTRUCTED BY OWNER
-1/2" G.W.B.

FLOOR TYPES

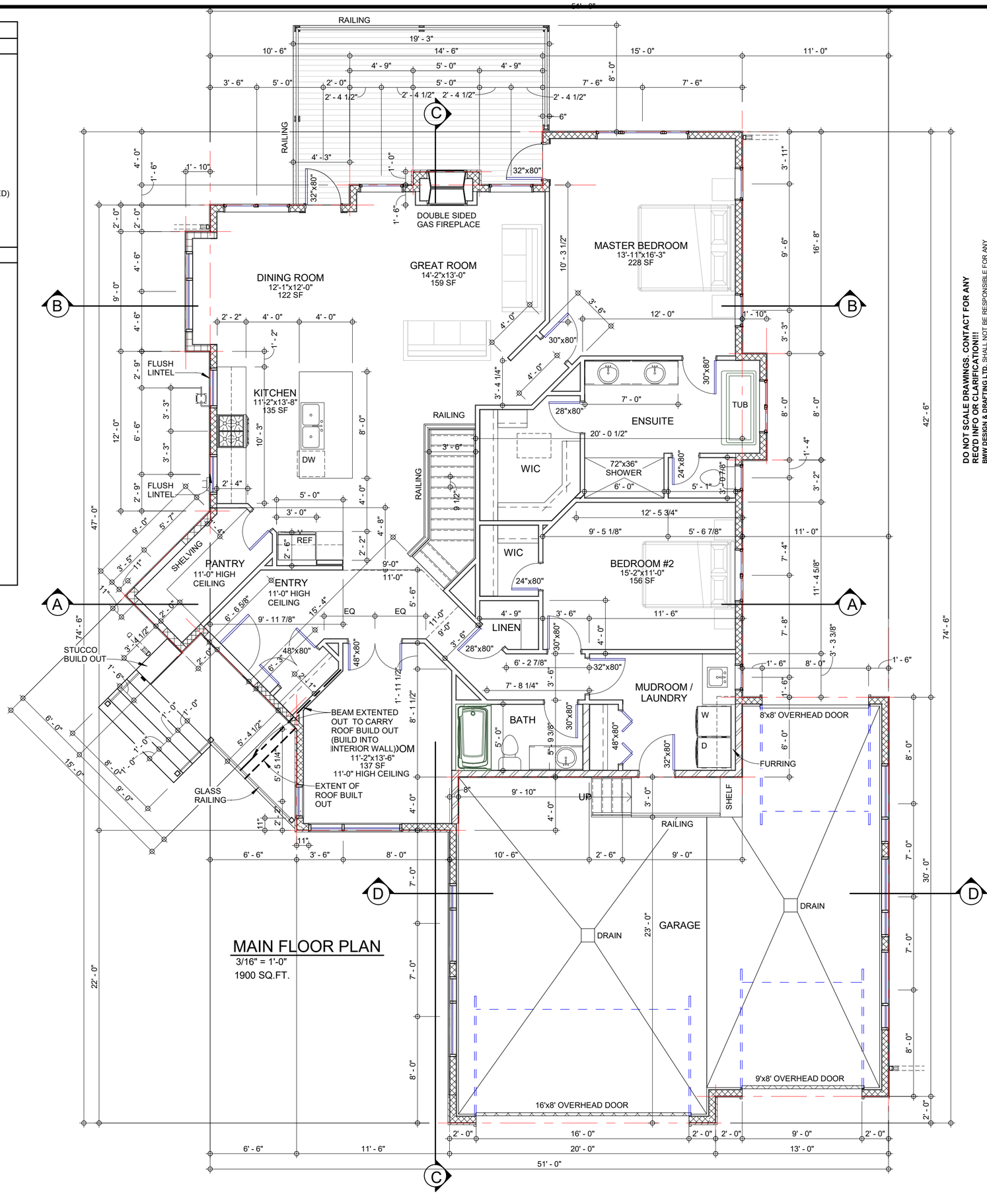
BASEMENT FLOOR CONSTRUCTION
-FINISH FLOORING AS SPEC'D
-3-1/2" THK . CONC. FLOOR SLAB REINFORCED AS REQUIRED
-AIR/SOIL GAS BARRIER
-COMPACTED FILL

GARAGE SLAB CONSTRUCTION
-5" THK. CONCRETE SLAB R/W 10M @ 18" O/C E.W. ON COMPACTED FILL MATERIAL (TYP.)

MAIN FLOOR CONSTRUCTION
-FINISH FLOORING AS SPEC'D
-3/8" UNDERLAY (WHERE REQ'D)
-3/4" T&G FLOOR SHEATHING (GLUED & SCREWED)
-FLOOR JOIST/BEAMS AS PER PLAN (VERIFIED WITH SUPPLIER)
-CEILING AS INSTRUCTED BY OWNER

ROOF TYPES

SLOPED ROOF CONSTRUCTION
-ROOFING MATERIAL AS SPEC'D
-UNDERLAYMENT, EAVE, VALLEY PROTECTION
-7/16" EXT. SHEATHING
-ROOF TRUSSES AS PER MANUF.
-R-50 LOOSE FILL/BATT INSULATION
-6 MIL POLY VAPOUR BARRIER
-1/2" CEILING G.W.B.



MAIN FLOOR PLAN

3/16" = 1'-0"
1900 SQ.FT.

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Project No: 2018-61
Date: JULY 2019
Scale: 3/16" = 1'-0"
Drawn by: BMW
Builder File:

Legal Description:
Lot: 132
Block: 10
Plan: 142 4849
Subdivision: LACOMBE PARK
Address:

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SALES CONTRACT AND SPECIFICATIONS MUST TAKE PRECEDENCE OVER THESE DRAWINGS.

Drawing Title: MAIN FLOOR PLAN AND ROOF PLAN

Builder: DAYNEL HOMES

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Design & Drafting Ltd.
#21-5121 TWP RD 540A
STURGEON COUNTY, AB
T8T 0B2

A-3

GENERAL NOTES

-ALL SCOPES OF WORK SHALL MEET THE ALBERTA BUILDING CODE (ABC) (LATEST EDITION).

-THE CONTRACTOR/OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS REQUIRED FOR COMPLETING PROJECT.

-OWNER SHALL INSURE QUALITY OF WORK MEETS HIS/HER STANDARDS.

-THE CONTRACTOR/OWNER SHALL BE RESPONSIBLE FOR OBTAINING ANY STRUCTURAL, MECHANICAL, ELECTRICAL DRAWINGS OR APPROVALS NEEDED TO COMPLETE THE PROJECT OR FOR OBTAINING PERMITS.

-THE CONTRACTOR/OWNER SHALL BE RESPONSIBLE FOR OBTAINING SOILS REPORT AS REQUIRED AND INSURING FOOTINGS/FOUNDATIONS AS DRAWN ARE SUFFICIENT

-THE CONTRACTOR/OWNER SHALL INSURE ALL ASPECTS OF THE REQUIRED BYLAWS ARE MET.

-ALL UTILITY HOOKUPS SHALL CONFORM WITH ALL RELEVANT REGULATIONS

-PRIOR TO CONSTRUCTION, ALL CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH THE DRAWINGS AND INSURE ALL ASPECTS OF THE A.B.C. ARE MET.

-ALL CONTRACTORS SHALL CARRY LIABILITY INSURANCE ACCEPTABLE TO THE OWNER.

-ALL LABOUR LAWS AND SAFETY STANDARDS MUST BE ADHERED TO.

-THE CONTRACTOR/OWNER SHALL HIRE AN ALBERTA LAND SURVEYOR FOR THE PURPOSE OFLOCATING THE PROPOSED BUILDING ON SITE AND ESTABLISHING GRADES.

-THE OWNER SHALL BE RESPONSIBLE FOR THE SELECTION OF ALL INTERIOR DESIGN ELEMENTS (E.G.. TUBS, FIXTURES, LIGHTS, ETC.)

-ANY FUEL FIRED APPLIANCE AS CHOSEN BY THE OWNER SHALL BE INSTALLED IN ACCORDANCE WITH THE ALBERTA BUILDING CODE.

-FOOTINGS SHALL REST ON UNDISTURBED SOIL AND HAVE MIN 5'-0" OF FROST PROTECTION.

-JOIST AND TRUSS LAYOUT/SIZES SHALL BE VERIFIED BY SUPPLIER. SHOP DRAWINGS OF JOIST/TRUSSES SHALL BE PROVIDED AND SHALL NOTE ANY EXTRA FOOTING, BEAMS, COLUMNS, JOISTS, ETC. TO INSURE CONSTRUCTION MEETS CODE. ANY CHANGE IN FOOTING SIZE, QUANTITY, AND LOCATION AS REQUIRED BY JOIST SUPPLIER TO BE NOTED BY CONTRACTOR/OWNER. CONTRACTOR/OWNER TO INSURE MODIFICATIONS ARE CARRIED OUT.

-WINDOW SIZES ARE SHOWN ON BUILDING ELEVATIONS AND ARE SHOWN BY NOMINAL SIZE. OWNER TO VERIFY STYLE, TYPE, AND EXACT ROUGH OPENING SIZE PRIOR TO CONSTRUCTION. OWNER TO ALSO VERIFY DIRECTION OF OPENERS

-ALL FRAMING SURROUNDING TUBS, SHOWER, ETC. AS SELECTED BY OWNER SHALL BE VERIFIED TO INSURE FIXTURES ARE INSTALLED CORRECTLY.

-ALL BATHROOM WALLS TO BE INSULATED WITH BATT INSULATION FOR NOISE ATTENUATION. OWNER TO INSTRUCT FOR OTHER INSULATED WALLS.

-PRE-MANUFACTURED TRUSSES MUST BE DESIGNED AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE PROVINCE OF ALBERTA.

-INCREASE WIDTH OF WALL TO CONCEAL WIDTH OF DROP BEAM IF APPLICABLE. VERIFY WITH BEAM SIZES.

-INSURE NO PLUMBING PIPES ARE PLACED IN EXTERIOR WALLS. VERIFY ON SITE, EXACT LOCATION OF REQUIRED PLUMBING PIPES.

-PROVIDE CLOSER & WEATHERSTRIPPING ON DOOR BETWEEN GARAGE AND LIVING AREA (IF APPLICABLE). ALL WALLS/CEILINGS BETWEEN GARAGE AND LIVING SPACE TO BE CONSTRUCTED TO PROVIDE AN EFFECTIVE BARRIER TO GAS AND EXHAUST FUMES

-PROVIDE REQUIRED SOFFIT PROTECTION, FIRE RATED EXTERIOR WALL, GLAZING LIMITATIONS AS PER THE REQUIREMENTS OF THE HIGH INTENSITY RESIDENTIAL FIRES (HIRF) FIRE CODES

-PROVIDE ROUGH-IN OF SOIL GAS CONTROL AS REQUIRED BY SECTION 9.13.4 OF THE ABC (LATEST EDITION)

-EXTERIOR WALLS WITHIN 1.2m (4'-0") OF THE PROPERTY LINE ARE TO HAVE A MINIMUM FIRE RESISTANCE RATING OF 45 MIN.

-ROOM SIZES AS INDICATED MAY VARY FROM ACTUAL CONSTRUCTED STRUCTURE

ROOF NOTES

BUILDERS SPECIFICATION MAY GOVERN OVER THESE NOTES

-ROOFING SLOPE AS INDICATED ON PLANS, SECTIONS AND ELEVATIONS

-ROOFING FINISH TO BE ASPHALT SHINGLES

-PROVIDE INSULATED ACCESS HATCH C/W WEATHERSTRIPPING

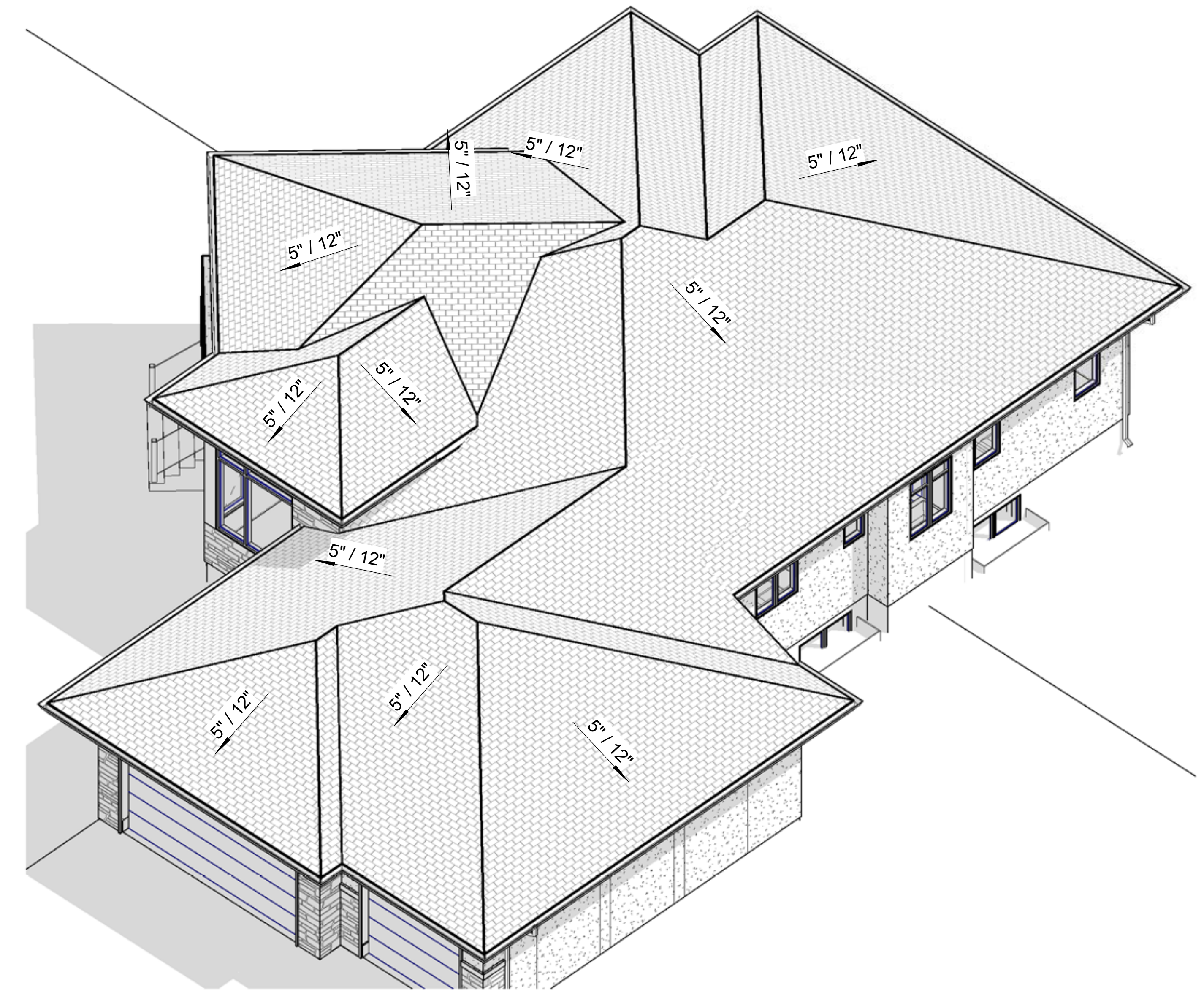
-PROVIDE ROOF VENTS AS REQUIRED

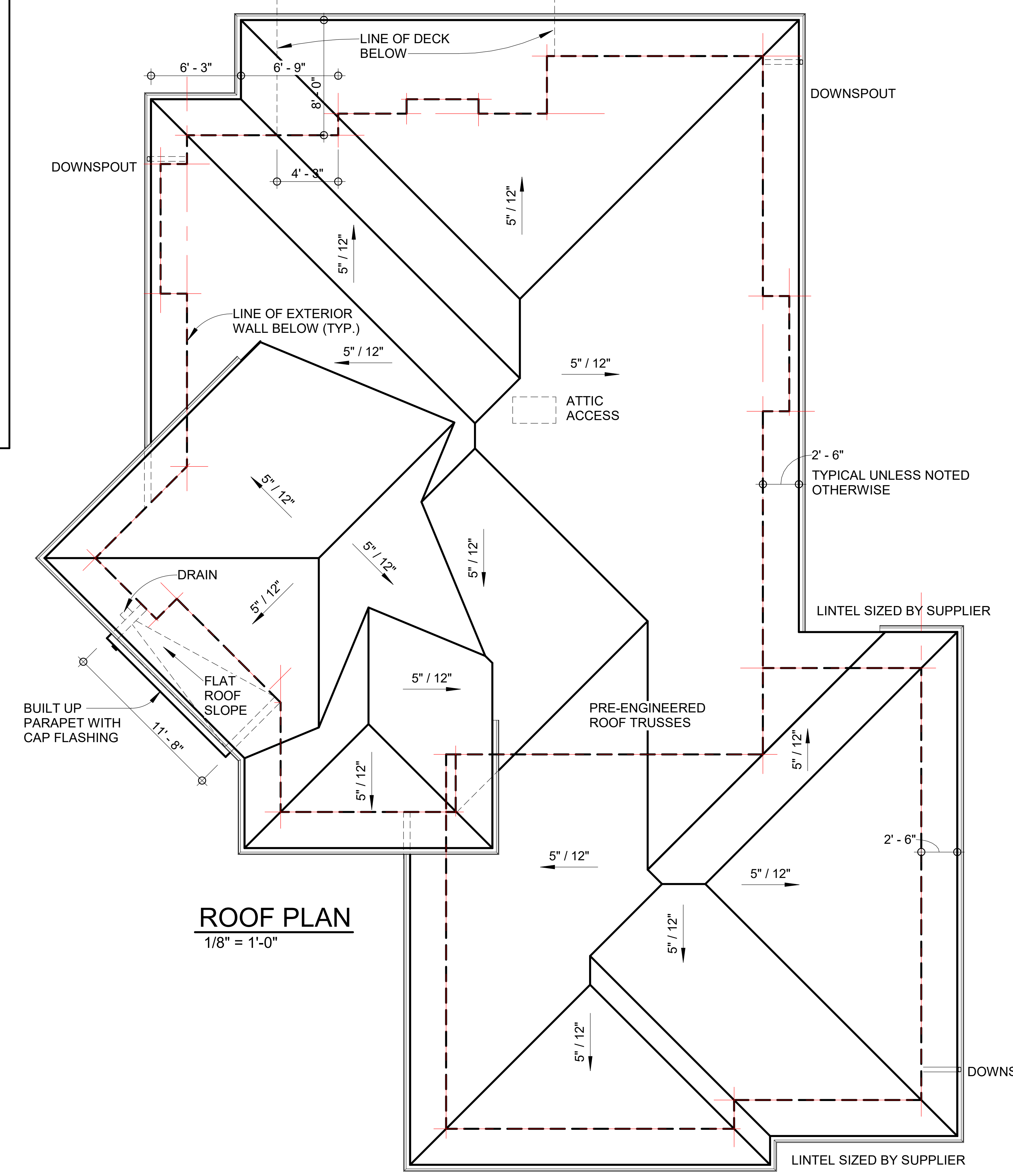
-PROVIDE PREFINISHED METAL EAVESTROUGH C/W REQ'D MOUNTING HARDWARE AND R.W.L. & EXTENTIONS

-PRE-MANUFACTURED HIGH HEEL ROOF TRUSSES TO BE DESIGNED AND SEALED BY A PROFESSIONAL ENGINEER

-VERIFY LOCATION OF ALL R.W.L ON SITE

-PROVIDE PEEL AND STICK MEMBRANE AT EAVES, VALLEYS AND LOW SLOPE ROOF AREAS





ROOF PLAN
1/8" = 1'-0"

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Block 10
Plan: 142 4849
Subdivision: LACOMBE PARK
Address:

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Drawing Title: ROOF PLAN

Builder:

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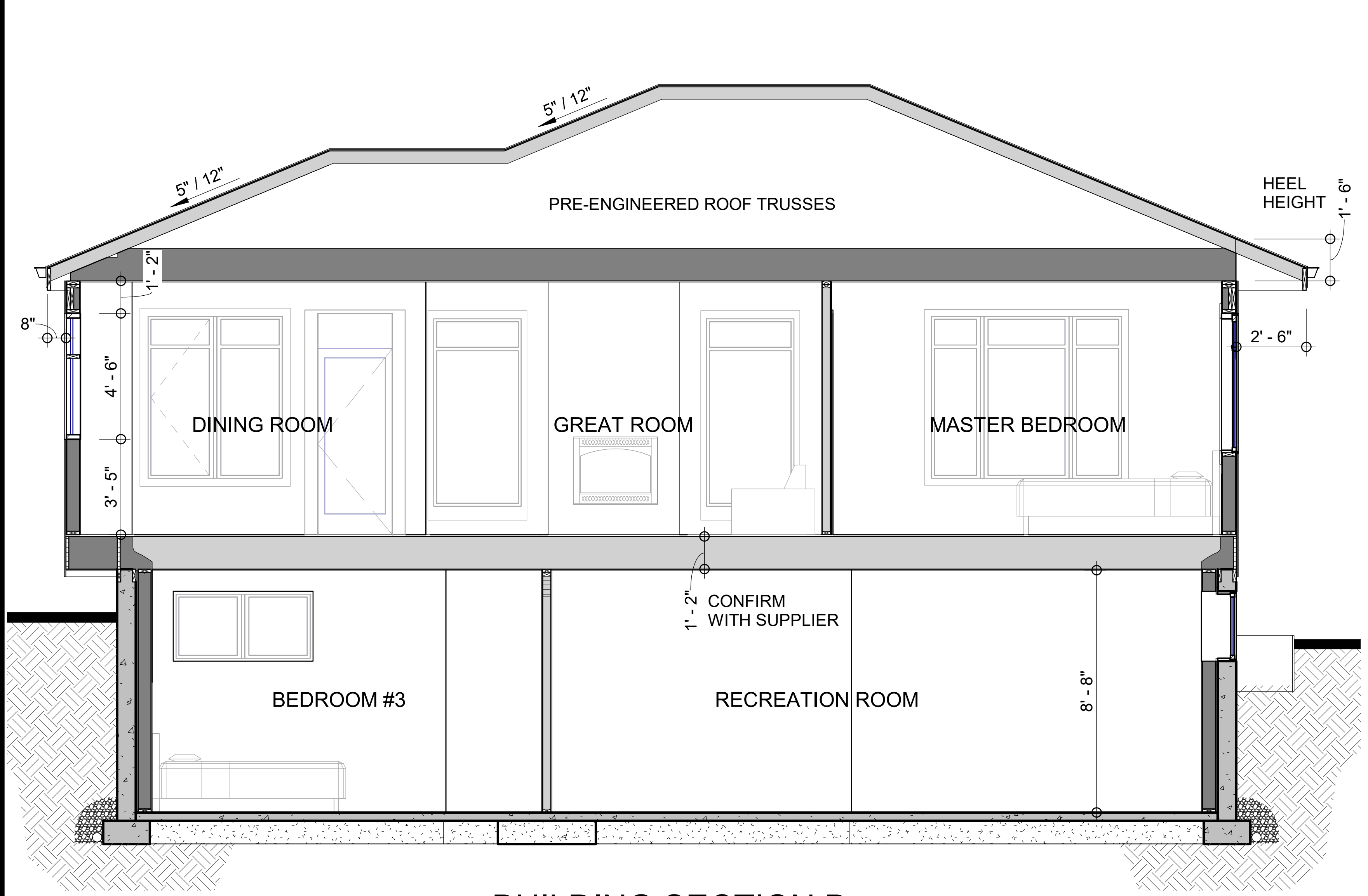
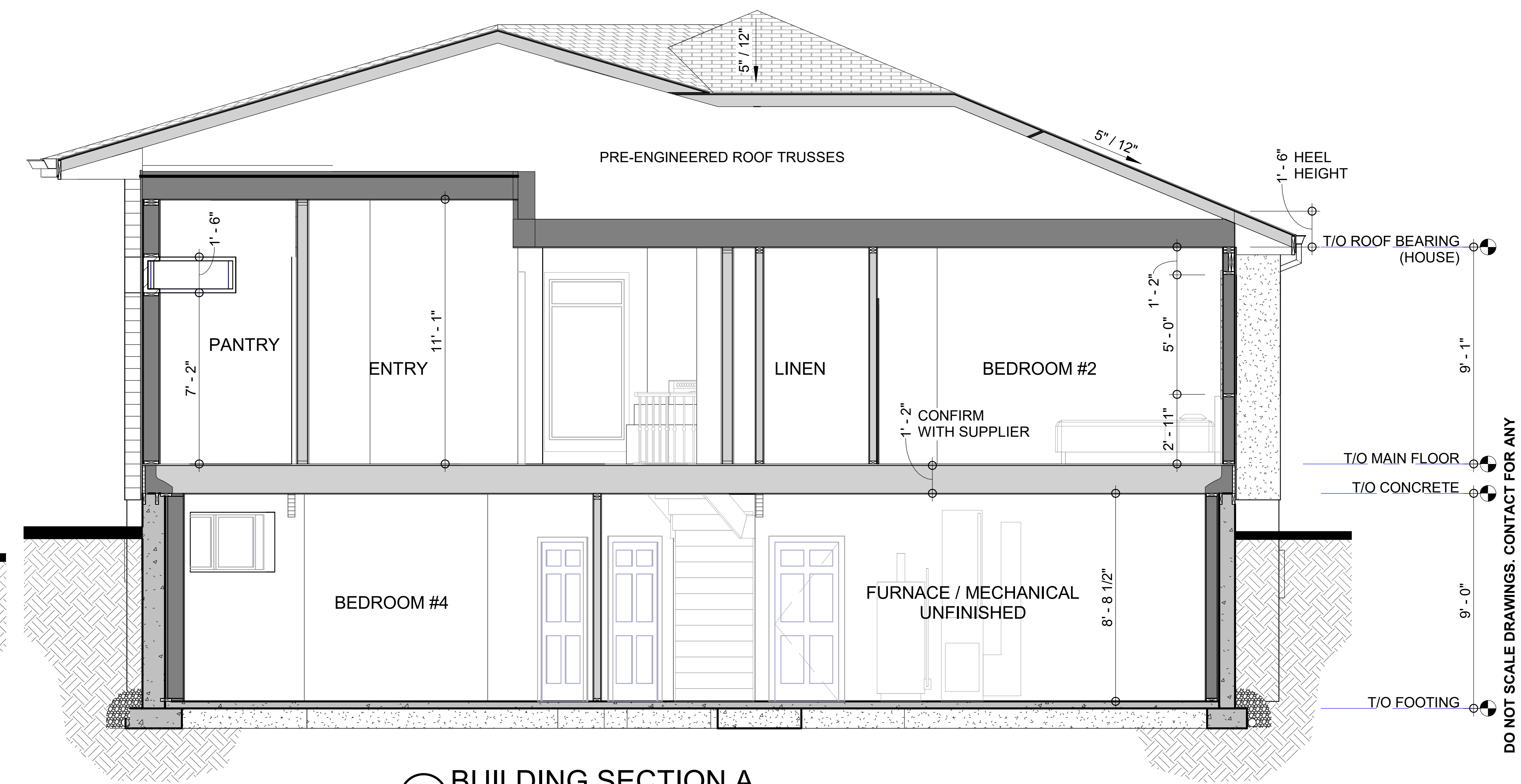
Design & Drafting Ltd.
#21-25112 TWP RD 542A
STURGEON COUNTY, AB
T8T 0B2

DAYNEL HOMES

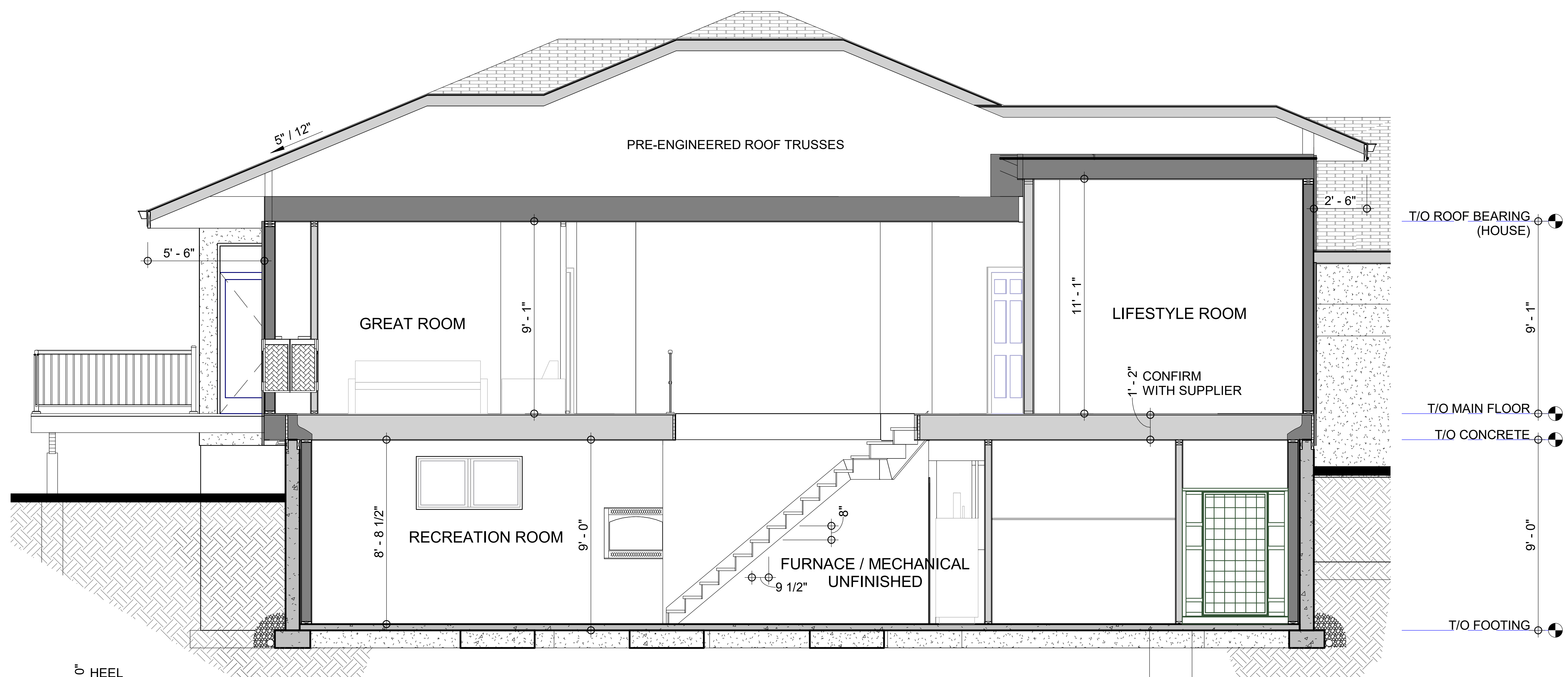
A-4



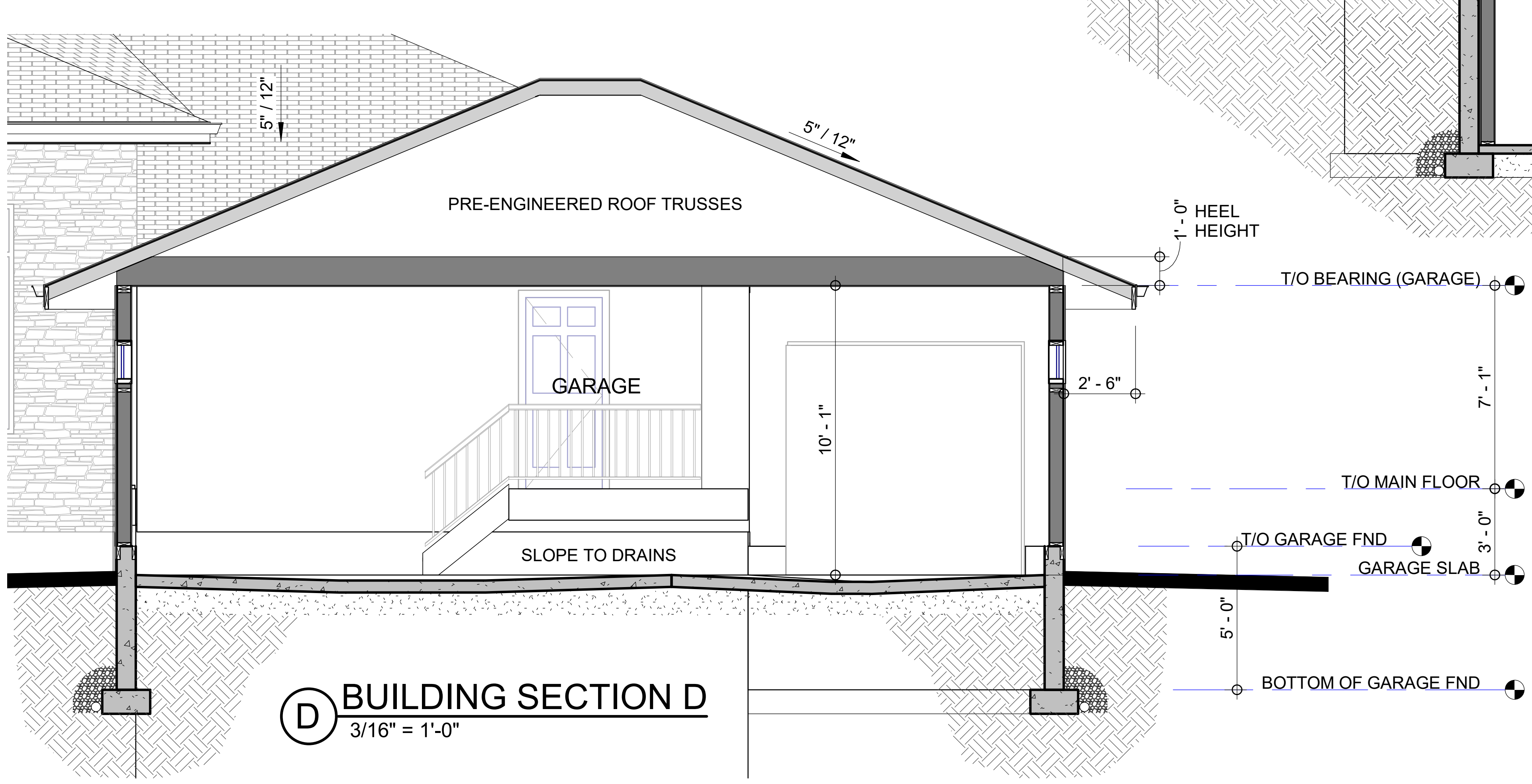
B BUILDING SECTION B
3/16" = 1'-0"



A BUILDING SECTION A
3/16" = 1'-0"



C BUILDING SECTION C
3/16" = 1'-0"



D BUILDING SECTION D
3/16" = 1'-0"

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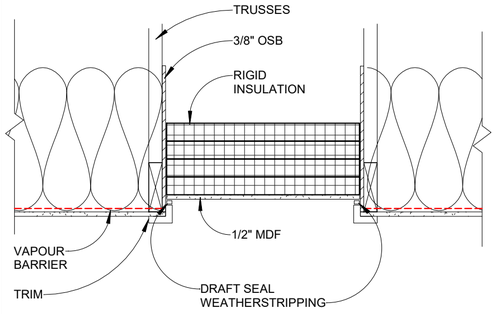
Drawing Title: BUILDING SECTIONS

Builder: **DAYNEL HOMES**

B·M·W
Design & Drafting Ltd.
#21-25112 TWP RD 542A
STURGEON COUNTY, AB
T8T 0B2

A-5

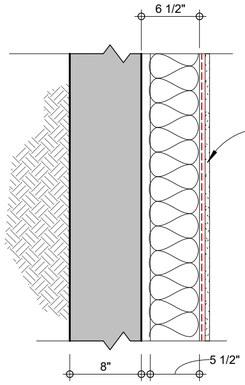


HEAT RECOVERY VENTILATOR REQUIRED

REQUIRED "RSI" VALUE = **2.6**
REQUIRED "R" VALUE =**14.7**

	"R" VALUE	"RSI" VALUE
-OUTSIDE AIR FILM	0.17	0.03
-RIGID INSULATION (8") TYPE 4	39.9	7.04
-1/2 MDF	0.62	0.11
-INTERIOR AIR FILM	0.62	0.11
EFFECTIVE VALUES	**41.31**	**7.29**

TYPICAL ATTIC ACCESS HATCH



HEAT RECOVERY VENTILATOR REQUIRED

REQUIRED "RSI" VALUE = **2.98**
REQUIRED "R" VALUE = **16.9**

	"R" VALUE	"RSI" VALUE
-8" CONC WALL	0.45	0.08
-1" AIR SPACE	0.90	0.16
-2x6 @ 16" O.C W/ R-20 BATT INSUL	15.21	2.68
-POLY	0.0	0.0
-1/2" DRYWALL	0.44	0.077
-INTERIOR AIR FILM	0.68	0.12
EFFECTIVE VALUES	**17.68**	**3.11**

FW1 - FOUNDATION WALLS

ENERGY EFFICIENCY REQUIREMENTS (ZONE 7A)

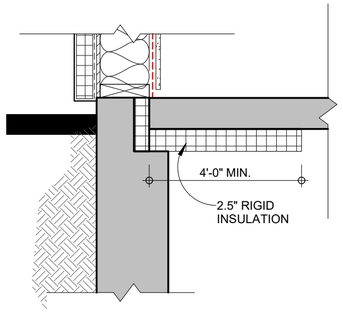
FENESTRATION AND DOOR COMPONENTS

-AS PER 9.36.2.7.A (ABC) MAXIMUM "U" VALUE FOR WINDOWS TO BE 1.60
-AS PER 9.36.2.7.A (ABC) MAXIMUM "U" VALUE FOR EXTERIOR DOORS TO BE 1.60
-AS PER 9.36.2.7.(5) (ABC) MAXIMUM "U" VALUE FOR ONE SINGLE EXTERIOR DOOR EXCEPTION TO BE 2.60
-AS PER 9.36.2.7 (4) (ABC) MAXIMUM "U" VALUE FOR GLASS BLOCK (1.85M²) TO BE 2.90
-AS PER 9.36.2.7 (4) (ABC) MAXIMUM "U" VALUE FOR SKYLIGHTS WINDOWS TO BE 2.70
-AS PER 9.36.2.7 (7) (ABC) MINIMUM RSI FOR GARAGE OVERHEAD DOORS TO BE 1.1
-AS PER 9.36.2.7 (8) (ABC) MINIMUM RSI FOR ATTIC HATCH TO BE 2.6

-ALL MECHANICAL EQUIPMENT AND INSTALLATION TO MEET THE REQUIREMENTS IN SECTION 9.36
-ALL ELECTRICAL EQUIPMENT/FITMENST AND INSTALLATION TO MEET THE REQUIREMENTS IN SECTION 9.36

DETAILS SHOWN AND "ETR" LISTED ARE FOR STRUCTURES WHERE HEAT RECOVERY VENTILATOR IS PROVIDED.

MIMIMUM **"ETR" EFFECTIVE THERMAL RESISTANCE** FOR LISTED COMPONENTS **WITH** THE USE OF A HEAT RECOVERY VENTILATOR		MIMIMUM **"ETR" EFFECTIVE THERMAL RESISTANCE** FOR LISTED COMPONENTS **WITHOUT** THE USE OF A HEAT RECOVERY VENTILATOR	
ABOVE GROUND ASSEMBLIES		**ABOVE GROUND ASSEMBLIES**	
CEILING BELOW ATTICS	=8.67	CEILING BELOW ATTICS	=10.43
CATHEDRAL CEILING OR FLAT ROOF	=5.02	CATHEDRAL CEILING OR FLAT ROOF	=5.02
WALL AND FOUNDATION EXPOSURE AVERAGE > 600mm	=2.97	WALL AND FOUNDATION EXPOSURE AVERAGE > 600mm	=3.08
FLOOR OVER UNHEATED SPACES	=5.02	FLOOR OVER UNHEATED SPACES	=5.02
TALL WALL	=2.97	TALL WALL	=3.08
BELOW GRADE OR GROUND CONTACT ASSEMBLIES		**BELOW GRADE OR GROUND CONTACT ASSEMBLIES**	
WALLS AND FOUNDATION EXPOSURE AVERAGE UP TO 600mm	=2.98	WALLS AND FOUNDATION EXPOSURE AVERAGE UP TO 600mm	=3.46
UNHEATED FLOOR - BELOW FROST LINE	=0	UNHEATED FLOOR - BELOW FROST LINE	=0
UNHEATED FLOOR - ABOVE FROST LINE	=1.96	UNHEATED FLOOR - ABOVE FROST LINE	=1.96
HEATED FLOOR	=2.84	HEATED FLOOR	=3.84
SLAB ON GROUND WITH INTERGAL FOOTING	=2.84	SLAB ON GROUND WITH INTERGAL FOOTING	=3.72



HEAT RECOVERY VENTILATOR REQUIRED

REQUIRED "RSI" VALUE = **1.96 (UNHEATED FLOOR)**
REQUIRED "R" VALUE = **11.12**

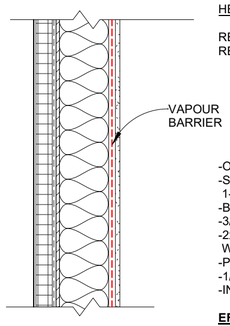
REQUIRED "RSI" VALUE = 2.84 **(HEATED FLOOR)**
REQUIRED "R" VALUE = **16.12**

	"R" VALUE	"RSI" VALUE
(UNHEATED)		
-INSIDE AIR FILM	0.62	0.11
-3 1/2" CONC. SLAB	0.20	0.036
-EXPANDED POLYSTYRENE (2.5")	12.5	2.20
EFFECTIVE VALUES	13.32	2.34

THE THERMAL BREAK ALONG THE SLAB EDGE MUST BE MIN 50% OF THE REQUIRED THERMAL RESISTANCE.
IF SLAB IS HEATED INCREASE INSULATION ACCORDINGLY.

CONFIRM INSULATION VALUES WITH HEATED SLAB SYSTEM AND SUPPLIER

TYPICAL UNHEATED FLOOR INSULATION DETAIL

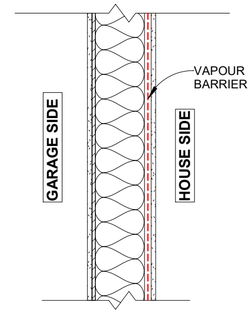


HEAT RECOVERY VENTILATOR REQUIRED

REQUIRED "RSI" VALUE = **2.97**
REQUIRED "R" VALUE = **16.9**

	"R" VALUE	"RSI" VALUE
-OUTSIDE AIR FILM	0.17	0.03
-STUCCO FINISH WITH 1-1/2" RIGID INSULATION	5.61	0.98
-BUILDING PAPER	0.0	0.0
-3/8" O.S.B.	0.53	0.093
-2x6 @ 16" O.C. W/ R22 BATT INSUL	14.47	2.55
-POLY	0.0	0.0
-1/2" DRYWALL	0.44	0.077
-INTERIOR AIR FILM	0.68	0.12
EFFECTIVE VALUES	**21.9**	**3.85**

EW1-EXTERIOR WALL - HOUSE/GARAGE



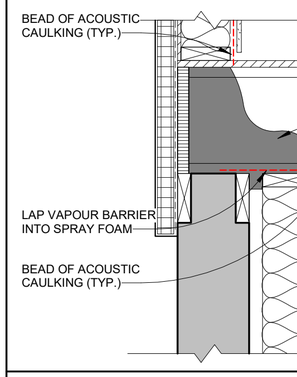
HEAT RECOVERY VENTILATOR REQUIRED

REQUIRED "RSI" VALUE = **2.97 (2.81 REDUCED)**
REQUIRED "R" VALUE = **16.9 (15.96 REDUCED)**

	"R" VALUE	"RSI" VALUE
-OUTSIDE AIR FILM	0.17	0.03
-1/2" DRYWALL	0.44	0.077
-3/8" O.S.B.	0.53	0.093
-2x6 @ 16" O.C. W/ R22 BATT INSUL	14.47	2.55
-POLY	0.0	0.0
-1/2" DRYWALL	0.44	0.077
-INTERIOR AIR FILM	0.68	0.12
EFFECTIVE VALUES	**16.73**	**2.94**

AS PER SECTION 9.36.2.4(4) THE THERMAL RESISTANCE CAN BE REDUCED BY 0.16 WHEN BUILDING ENVELOPE IS PROTECTED BY AN ENCLOSED UNCONDITIONED SPACE

EW2-INTERIOR WALL BETWEEN HOUSE&GARAGE



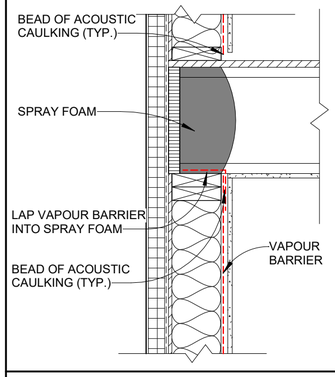
HEAT RECOVERY VENTILATOR REQUIRED

REQUIRED "RSI" VALUE = **2.97**
REQUIRED "R" VALUE = **16.9**

	"R" VALUE	"RSI" VALUE
-OUTSIDE AIR FILM	0.17	0.03
-VINYL SIDING	0.62	0.11
-BUILDING PAPER	0.0	0.0
-RIM JOIST	1.59	0.28
-SPRAY FOAM INSUL (4.5") MED. DENSITY	22.9	4.03
-INTERIOR AIR FILM	0.68	0.12
EFFECTIVE VALUES	**25.96**	**4.57**

TYPICAL MAIN FLOOR RIM JOIST

PROVIDE THERMAL PROTECTION OF SPRAY FOAM IF BASEMENT IS UNDEVELOPED

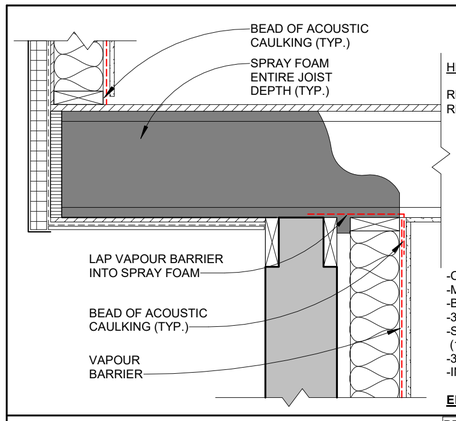


HEAT RECOVERY VENTILATOR REQUIRED

REQUIRED "RSI" VALUE = **2.97**
REQUIRED "R" VALUE = **16.9**

	"R" VALUE	"RSI" VALUE
-OUTSIDE AIR FILM	0.17	0.03
-VINYL SIDING	0.62	0.11
-BUILDING PAPER	0.0	0.0
-RIM JOIST	1.59	0.28
-SPRAY FOAM INSUL (4.5") MED. DENSITY	22.9	4.03
-INTERIOR AIR FILM	0.68	0.12
EFFECTIVE VALUES	**25.96**	**4.57**

TYPICAL 2ND FLOOR RIM JOIST



HEAT RECOVERY VENTILATOR REQUIRED

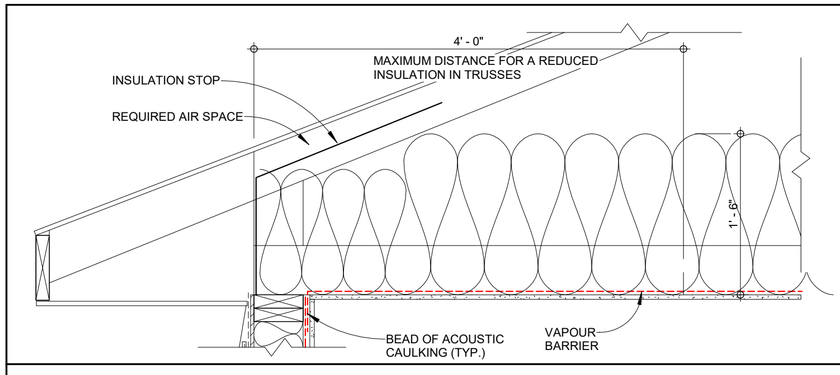
REQUIRED "RSI" VALUE = **5.02**
REQUIRED "R" VALUE = **28.5**

	"R" VALUE	"RSI" VALUE
-OUTSIDE AIR FILM	0.17	0.03
-METAL SOFFIT	0.0	0.0
-BUILDING PAPER	0.0	0.0
-3/8" O.S.B	0.53	0.093
-SPRAY FOAM INSUL (12" MIN.) MED. DENSITY	62.3	10.98
-3/4" SUBFLOOR	0.97	0.17
-INTERIOR AIR FILM	0.91	0.16
EFFECTIVE VALUES	**64.88**	**11.43**

TYPICAL FLOOR CANTILEVER

PROVIDE THERMAL PROTECTION OF SPRAY FOAM IF BASEMENT IS UNDEVELOPED

FLOOR UNDER SUNROOM TO BE SRPAY FOAM AS PER CANTILVER DETAIL



HEAT RECOVERY VENTILATOR REQUIRED

REQUIRED "RSI" VALUE = **8.67**
REQUIRED "R" VALUE = **49.2**

	"R" VALUE	"RSI" VALUE
-18" LOOSE FILL INSULATION (GLASS FIBRE)	48.6	8.56
-POLY	0.0	0.0
-1/2" DRYWALL	0.44	0.077
-INTERIOR AIR FILM	0.62	0.11
EFFECTIVE VALUES	**49.7**	**8.74**

TYPICAL OVERHANG DETAIL

DO NOT SCALE DRAWINGS. CONTACT FOR ANY RFI'D INFO OR CLARIFICATION!!!
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Legal Description:
Lot: 132
Block 10
Plan: 142 4849
Subdivision: LACOMBE PARK
Address:

Project No: 2018-61
Date: JULY 2019
Scale 1" = 1'-0"
Drawn by: BMW
Builder File:

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Drawing Title: ENERGY DETAILS

Builder:

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Design & Drafting Ltd.
#2-5121 TWP RD 540A
STURGEON COUNTY, AB
T8T 0B2

A-6

DAYNEL HOMES